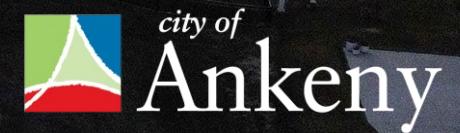
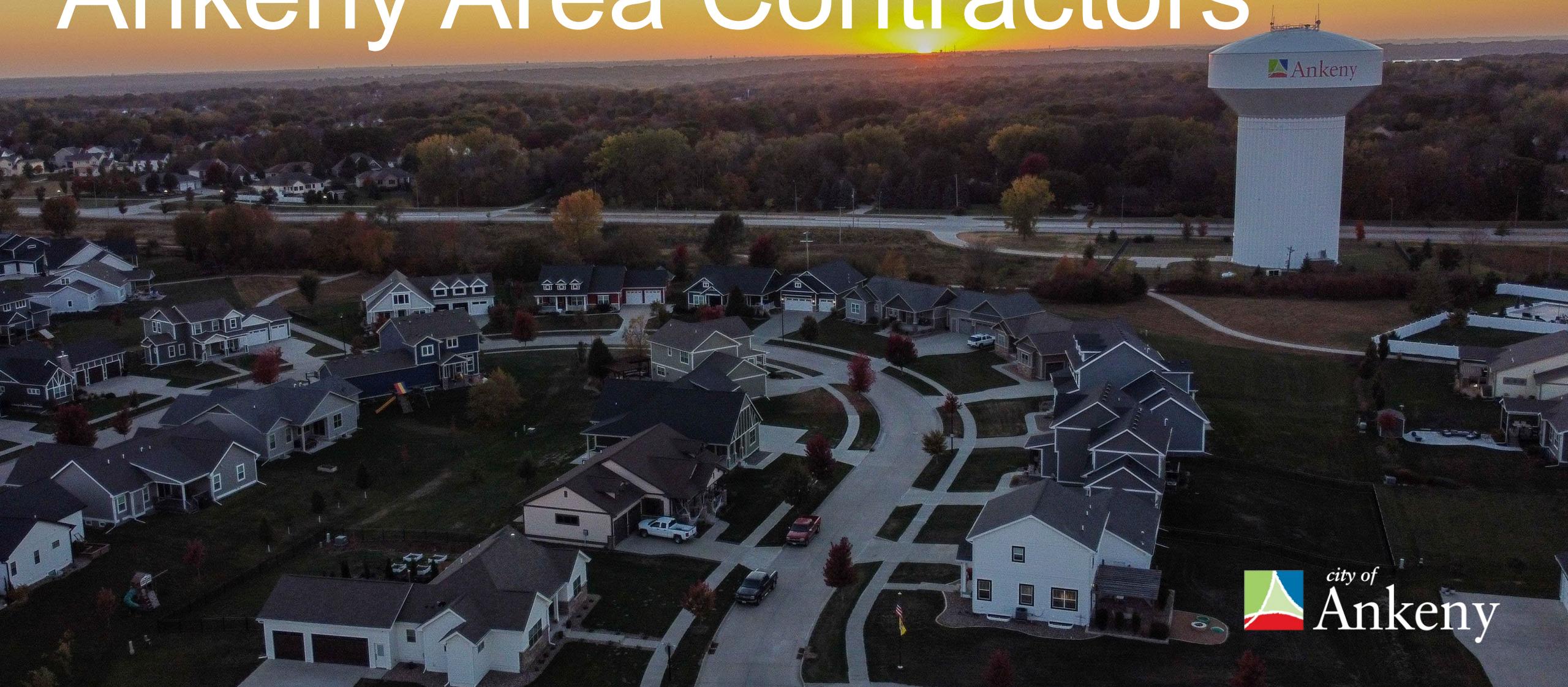


# Welcome Ankeny Area Contractors



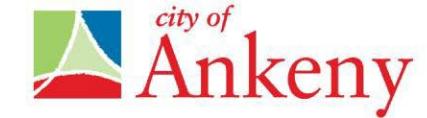
# DOOR PRIZES SPONSORED BY METRO IOWA CONSTRUCTION CODE COMMITTEE



**The following jurisdictions are represented by MICCC:**

- ADEL
- ALTOONA
- ANKENY
- CLIVE
- DALLAS COUNTY
- DES MOINES
- GRIMES
- INDIANOLA
- JOHNSTON
- NORWALK
- PELLA
- PLEASANT HILL
- POLK CITY
- POLK COUNTY
- SAFE BUILDING LLC
- URBANDALE
- VEENSTRA & KIMM INC.
- WAUKEE
- WEST DES MOINES

# CITY OF ANKENY



- The following Divisions are actively engaged in construction and development reviews and inspections:
  - Building
  - Planning
  - Code Enforcement
  - Development Engineering
  - Storm Water

# CITY OF ANKENY BUILDING DIVISION PERSONNEL



- **Kristin Manning**, Permits Clerk
- **Brierly Hatchet**, Permits Clerk
- **Carmen Santee**, Permits Technician
- **Kathy Dozler**, Permit Supervisor
- **Trey Moree**, Combination Inspector I
- **Cody Calhoun**, Combination Inspector II
- **Jared Ruby**, Combination Inspector II
- **Michael Villamagna**, Combination Inspector II
- **Craig Larsen**, Combination Inspector II
- **Jon Georgius**, Building Inspections Supervisor
- **Jerry Agan**, Deputy Building Official
- **Jeff Junker**, Chief Building Official
- **Eric Jensen**, Director of Community Development

# CITY OF ANKENY PLANNING PERSONNEL



- **Ryan Kirschman**, Planner
- **Bryan Morrisey**, Associate Planner
- **Jake Heil**, Associate Planner
- **Laura Hutzell**, Associate Planner
- **Derek Silverthorn**, Associate Planner
- **Deb Gervais**, Senior Planner
- **Eric Carstens**, Planning Manager
- **Brenda Fuglsang**, Administrative Assistant
- **Eric Jensen**, Director of Community Development

# CITY OF ANKENY CODE ENFORCEMENT PERSONNEL



- **Justin Guddall**, Code Enforcement Officer I
- **Alex Winkels**, Code Enforcement Officer I
- **Brad Pruismann**, Code Enforcement Officer II
- **John Cabeen**, Code Enforcement Supervisor
- **Jeff Junker**, Chief Building Official
- **Eric Jensen**, Director of Community Development

# CITY OF ANKENY DEVELOPMENT ENGINEERING PERSONNEL

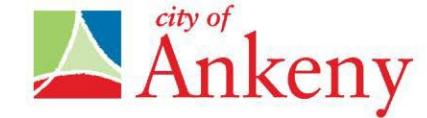


- **Dana Conley**, Civil Engineering Technician I
- **Melissa Zuspann**, Engineering Technician II
- **Lanie Boas**, Civil Engineer II
- **Mark Valmore**, Civil Engineer II
- **Sam Homan**, Utility Permit Specialist
- **Liz Van Zomeren**, Utility Coordinator
- **Laura Snyder**, GIS Technician
- **Mitch Wedell**, Development Engineering Manager
- **Don Clark**, Director of Municipal Utilities

Refer to the “Builder Final Engineering Inspection Guide” found on the City website:

<https://www.ankenyiowa.gov/DocumentCenter/View/2286/Builder-Final-Engineering-Inspection-Guide>. For any questions regarding a final engineering inspection or the builder guide please email [devengineering@ankenyiowa.gov](mailto:devengineering@ankenyiowa.gov).

# CITY OF ANKENY STORMWATER PERSONNEL



- **Quinn Lopreato**, Environmental/Civil Engineer II
- **Jordan Perry**, Stormwater Engineering Tech I
- **Carla Moore**, Stormwater Engineering Tech II
- **Jared Bright**, Stormwater Coordinator
- **Becky Ford**, Stormwater & Environmental Manager
- **Mark Mueller**, Director of Public Works

# CANCELLATION OF INSPECTIONS

- Builders continue to do a good job of calling in cancellations in a timely manner.
- Thank you Builders!
- If you need to cancel an inspection please call in no later than 1 hour prior to the scheduled inspection time.
- If phone is busy please leave a voice mail
- If you don't call in, then it will be considered a **failed** inspection.
- Contractor shall call in a request for a re-inspection to be scheduled no sooner than 24 hours after the failed inspection

# FINAL INSPECTIONS' ACCESS

- Builders continue to do a good job of providing for inspector access at final inspections.
- Thank you Builders!
- Contractors shall stand their final inspection so as to afford inspector entry and to coordinate corrections of any deficiencies.
  - Or -
- Contractors not standing their final inspections shall have the front door unlocked prior to the scheduled inspection time for inspector entry.
- Failure of a contractor to follow the above will be considered a **failed** inspection.
- Contractor shall call in a request for a re-inspection to be scheduled no sooner than 24 hours after the failed inspection.

# FALL PROTECTION

Thank you Builders!

- Builders continue to do a good job of providing the needed protection.



- Floor and wall openings shall be protected with a 2x4 guard installed from 36" minimum to 42" maximum above the floor.
- Failure to have protected floor and wall openings at the time of inspection will be considered a **failed** inspection.
- Contractor shall call in a request for a re-inspection to be scheduled no sooner than 24 hours after the failed inspection.

# VISIBLE PROPERTY PINS

- Builders we need your help with this!



- Sidewalks & Footings - at the time of forms' inspections, prior to concrete placement.
  - Exception: foundations staked by a licensed surveyor or licensed engineer
- Failure to have visible property pins will be considered a **failed** inspection.
- Contractor shall call in a request for a re-inspection to be scheduled no sooner than 24 hours after the failed inspection.
- Note: property pins shall have the surveyor's 'cap' installed and visible at the time of inspections.

# 2024 Development



- 2,351 Building permits Issued
  - 834 New dwelling units

Construction and development  
in Ankeny remains vibrant!

# BUILDING PERMIT FEE SCHEDULE



- Building permit fees will be increasing minimally this year.
- Trades' permit fees will not be increasing this year.

# SINGLE FAMILY DWELLING PERMIT FEE (example)

Based on single-family ranch style dwelling

– 2,000 sq. ft. main floor

– 1,000 sq. ft. finished basement

– 1,000 sq. ft. unfinished basement

– 720 sq. ft. attached garage

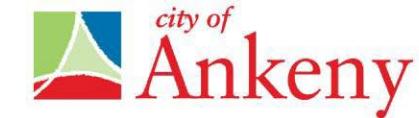
Current valuation -\$472,057

Current building permit fee -\$2,143

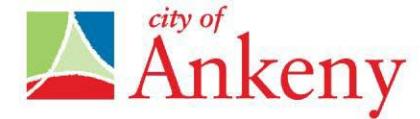
July 1, 2025 valuation -\$480,344

July 1, 2025 building permit fee -\$2,174

Building Permit Fee Difference -\$31



# CURRENT ANKENY CODES



- Ankeny Municipal Code
- 2021 Residential Code
- 2021 Building Code
- 2021 Existing Building Code
- 2021 Fire Code
- 2024 Mechanical Code – State Code
- 2024 Plumbing Code - State Code
- 2024 Fuel Gas Code – State Code
- 2012 Energy Code - State Code
- 2021 Property Maintenance Code
- 2021 Swimming Pool & Spa Code, State Code
- 2020 Electrical Code – State Code

# ANKENY CODES JULY 1, 2025



- Ankeny Municipal Code
- 2024 Residential Code
- 2024 Building Code
- 2024 Existing Building Code
- 2024 Fire Code
- 2024 Mechanical Code – State Code
- 2024 Plumbing Code - State Code
- 2024 Fuel Gas Code – State Code
- 2012 Energy Code - State Code
- 2024 Property Maintenance Code
- 2024 Swimming Pool & Spa Code and State Code
- 2023 Electrical Code – State Code



# BUILDERS and DESIGNERS

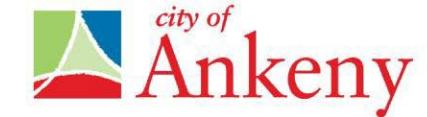
2024 International Residential Code

Snow loads for One- and Two-Family  
Dwellings and Townhomes

## 2024 IRC Section R301.2.3

Snow loads have increased based on historical data. IRC projects shall be based on Risk Category II and may be found here: [ASCE Hazard Tool](#). Anticipate local residential ground snow load to be 33 psf minimum.

# BUILDERS and DESIGNERS



2024 International Building Code

Snow loads for other than One- and Two-Family Dwellings and Townhomes

## 2024 IBC Section 1608

Snow loads have increased based on historical data. Ground snow loads for roofs shall be determined in accordance with chapter 7 of ASCE 7 and may be found here: [ASCE Hazard Tool](#). Structural loads are determined based on the type of project and the Risk Category thereof.

# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS



## 2024 International Residential Code

Bracing details for guards per 2024 IRC  
Section R502.11

### R502.11 Floor Framing Supporting Guards

- Added details for bracing a floor when attaching a guard
  - Blocking for joists perpendicular to the floor edge
  - Blocking for joists parallel to the floor edge
  - Blocking added between floor joists



Guardrail at open floor must have  
bracing within the floor

# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS

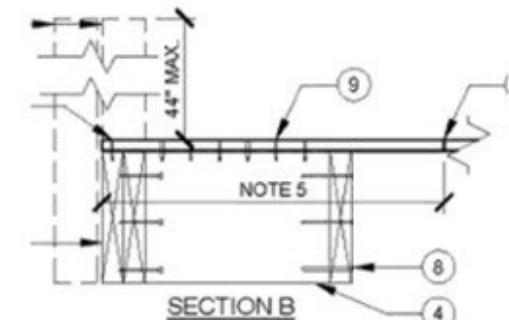


2024 International Residential Code

Bracing details for guards per 2024 IRC  
Section R502.11

## R502.11 Roll Bracing

- Details for bracing a floor when attaching a guard are added
  - Blocking for joists perpendicular to the floor edge
  - Blocking for joists parallel to the floor edge
  - Blocking added between floor joists



# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS

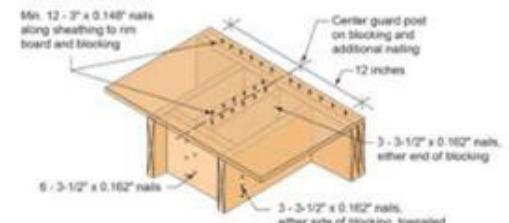
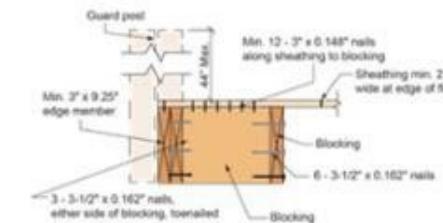


## 2024 International Residential Code

Bracing details for guards per 2024 IRC  
Section R502.11

### R502.11 Roll Bracing

Roll bracing for guard posts not aligned with joists



# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS

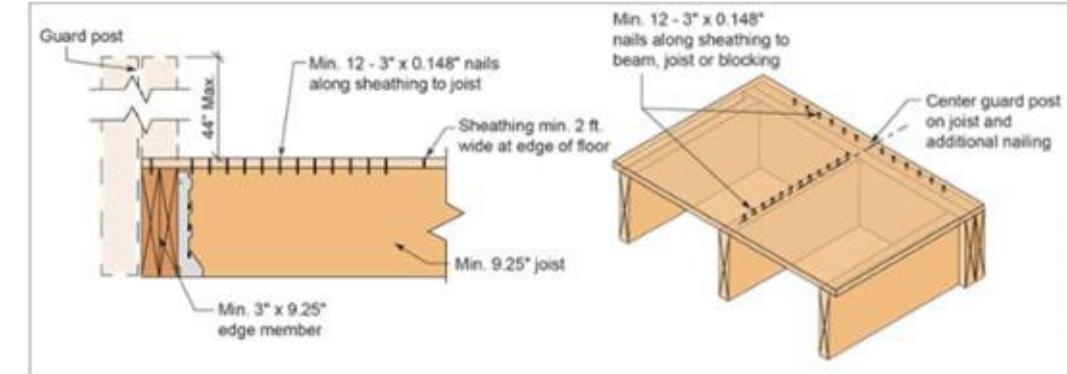


2024 International Residential Code

Bracing details for guards per 2024 IRC  
Section R502.11

## R502.11 Roll Bracing

Guard posts aligned with joists perpendicular to the floor edge



# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS

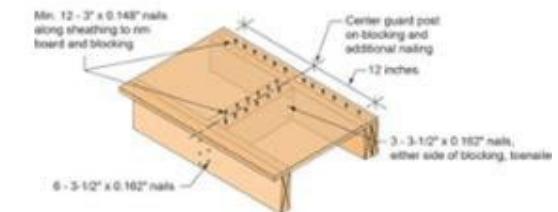
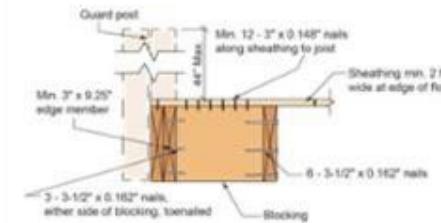


2024 International Residential Code

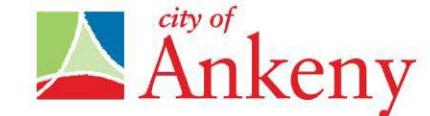
Bracing details for guards per 2024 IRC  
Section R502.11

## R502.11 Roll Bracing

Roll bracing for joists parallel to the floor edge



# ONE and TWO FAMILY DWELLINGS and TOWNHOME BUILDERS and DESIGNERS

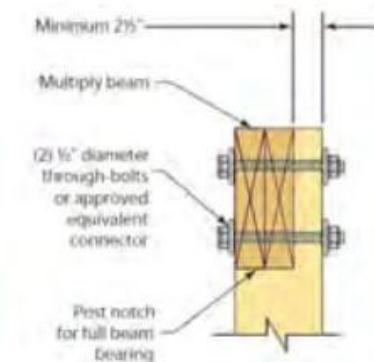
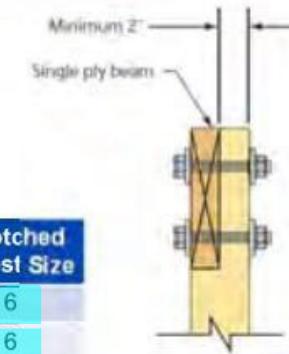


2024 International Residential Code

Deck post size based on beam plies per  
2024 IRC Section R507.5.2

## Post Size for Bearing at Notch

Beam Plies	Min. Notched Deck Post Size
1	4 x 6
2	6 x 6
3	6 x 8



# TOWNHOME BUILDERS and DESIGNERS



2023 National Electric Code – State Code

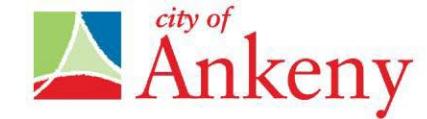
## 2023 NEC Article 230.3

Service conductors supplying a building or other structure shall not pass through the interior of another building or other structure.

Supplying (wiring) one building through another – Ankeny Amendment

Feeders shall not cross a property line.

# BUILDERS and ELECTRICIANS



2023 National Electric Code – State Code

Temporary Services' Requirements



# BUILDERS and ELECTRICIANS

2023 National Electric Code – State Code

Temporary Services' Requirements



# BUILDERS and ELECTRICIANS

2023 National Electric Code

Temporary Services' Requirements



## 2023 NEC

- Unused Openings – 110.12(A)
- GFCI Breakers or Devices – 210.8
- Barriers to Live Parts – 215.15 & 230.62
- Disconnect Required – 230.70
- 2 Ground Rods –or- 1 Ground Rod with Ohms Test – 250.53(A)(2)
- Bonding Jumper Between Neutral Bar and Ground Bar – 250.92 and 250.102 (sizing)
- Weatherproof Receptacles – 406.9(B)(1)
- Strap or Back-Fed Device – 408.36
- LFMC Whip >6' Acceptable
- Posting of Address – (IRC provision)

# BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Appliances in rooms and closets –  
access location

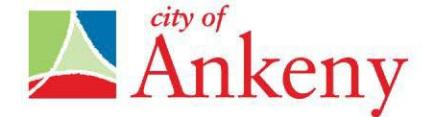
## 2024 IMC Section 306.2

Room and closets containing appliances shall be provided with a door and unobstructed passageway measuring not less than 36 inches wide and 80 inches high and a level service space not less than 30 inches deep and 30 inches wide at the front service side of the appliance with the door open.

# MULTI-FAMILY BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Code

Outdoor air ventilation requirements for multi-family buildings have increased by a factor of 30%-50% per dwelling unit



## 2024 IMC Section 403.3.2.1

Ventilation rates have been increased to reflect current building practices that, when installed properly to minimize heating and cooling losses, create tighter building thermal envelopes. This code change reduces the possibility of under-ventilated units and the potential for poor air quality, increased condensation, mildew and mold.

# RESIDENTIAL BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Domestic Clothes Dryer Ducts – screws  
may NOT protrude inside the duct



## 2024 IMC Section 504.9.2

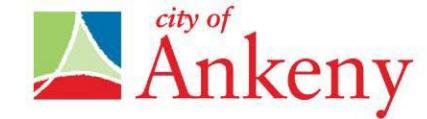
Exhaust ducts shall:

- a. Be supported at 4 foot intervals and be secured in place.
- b. The insert end of the duct will extend into the adjoining duct or fitting in the direction of airflow
- c. Not be joined by screws or similar fasteners that protrude into the inside of the duct

# RESIDENTIAL BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Code

Return air from a closet is no longer  
prohibited



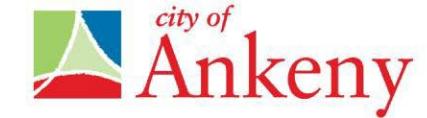
## **2024 IMC Section 601.5 #8**

Return air from a closet shall serve  
only the closet and shall not require  
a dedicated closet supply duct.

# RESIDENTIAL BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Return air openings - location



## 2024 IMC Section 601.5 #9

Return air openings shall be located at least 18 inches from supply air openings and air throw directed away from return air openings to reduce short cycling of air.

Exception: Factory-made concentric duct terminations.

# RESIDENTIAL BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Central duct return system openings -  
location



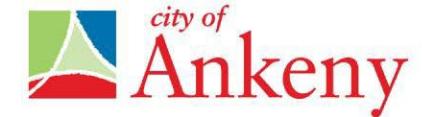
## 2024 IMC Section 601.5 #10

One return air opening per floor is required on a central return system per ACCA Manual D, Appendix 8, and return air transfer openings are required on all bedrooms when dedicated return air openings are not used.

# MULTI-FAMILY BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Ceiling radiation dampers – means of  
access



## 2024 IMC Section 607.6.2.1.3

Access – ceiling radiation dampers shall be provided with an approved means of access that is large enough to permit inspection and maintenance of the damper and its operating parts and dampers equipped with fusible links and internal operators be provided for both with either an access door that is not less than 12 inches square, or a removable duct section.

# MULTI-FAMILY BUILDERS and DESIGNERS

State of Iowa Mechanical Code  
2024 International Mechanical Code  
(IMC) – State Amendment

Ceiling radiation dampers – identification



## **2024 IMC Section 607.6.2.1.4**

Identification – ceiling radiation damper locations and access points shall be permanently identified on the exterior by a label or marking acceptable to the authority having jurisdiction.

# RESIDENTIAL REMINDER RENTAL HOUSING UNITS

All individual dwelling units that are rentals must be registered as rentals and must be provided with fire extinguishers.

Builders: if your new construction dwelling will be a rental, make certain that an appropriate fire extinguisher is provided prior to occupancy.



## **Ordinance 2085 - Section 177.20**

706.1 Non-sprinklered Single Family Dwellings, One and Two Family Dwellings and Townhomes Dwellings. Each dwelling unit shall be provided with a charged and operable portable fire extinguisher, minimum 5 Lb. 2-A:10-B:C, located in an accessible location.

# PERMIT HOLDERS YOU ARE RESPONSIBLE FOR YOUR PROJECTS



**ORDINANCE 2079 - 175.14 SECTION 105.6.1 AND  
ORDINANCE 2087 - 184.11 SECTION R105.6.1**

## **- - REVOCATION OF PERMIT - -**

- If you have winter-build projects on a Temporary Certificate of Occupancy have them completed and call for a final inspection before May 31, 2025!

*Expired Permit or Temporary Certificate of Occupancy is grounds for no future permits being issued.*

# CERTIFICATE OF OCCUPANCY



Required prior to occupancy:

- Please allow time for the final inspection and any corrections to be made and re-inspected and confirmed and the C.O. to be processed.
- **Occupancy without a valid Final or Temporary Certificate of Occupancy is grounds for no more permits to be issued as well as an incurred fee.**

**Do not expect same day C.O. issuance!**

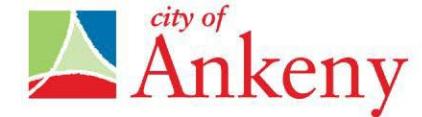
# Temporary Certificates of Occupancy

(limited to 14 days outside of winter-build)



- **Temporary Certificate of Occupancy Will Be Issued Upon Passing Building Inspection and will include inspections' conditions as noted by Planning, Development Engineering and Storm Water Divisions as applicable**
- Initial no charge
- Extensions
  - 1<sup>st</sup> extension at \$100
  - 2<sup>nd</sup> extension at \$200
  - 3<sup>rd</sup> extension and each extension thereafter at \$300

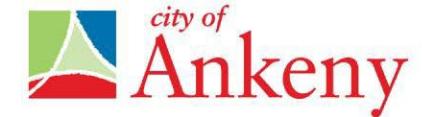
# EXTENSION OF CURRENT BUILDING PERMIT



Six month extension of current building permit...  
shall be requested in writing prior to permit expiration.

- Initial No Charge
- Subsequent extensions thereafter:
  - $\frac{1}{2}$  of the original permit fee not to exceed \$500

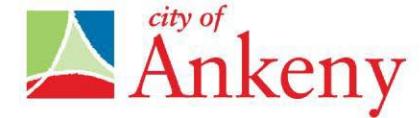
# REACTIVATION OF EXPIRED BUILDING PERMIT



Six month reactivation of expired building permit.

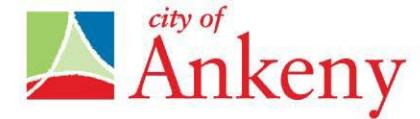
- Shall be retroactively dated based upon the original issuance date
- Each at  $\frac{1}{2}$  of the original permit fee not to exceed \$500

# OCCUPANCY OF A BUILDING WITHOUT A VALID CERTIFICATE OF OCCUPANCY



- \$500 flat fee
- Imposition of additional fees such as Temporary Certificate of Occupancy, Extension or Reactivation of Permit etc. shall be incurred as applicable

# DELINQUENCY OF FEES



Delinquency - prior to issuance of any Certificate of Occupancy, extension of any current permit or reactivation of any expired permit, any and all delinquent charges shall be paid.

# BUILDING DIVISION COMMON EMAIL ADDRESSES



Use the following accounts to email documents :

[energyinfo@ankenyiowa.gov](mailto:energyinfo@ankenyiowa.gov) - For energy audits, duct layouts, MPE's, equipment sizing etc.

[tradepermits@ankenyiowa.gov](mailto:tradepermits@ankenyiowa.gov) – For trades permits.

[buildingpermits@ankenyiowa.gov](mailto:buildingpermits@ankenyiowa.gov) – For building permit applications and plan documents (may be limited in size).

**Attachments to emails is limited to 20 MB**

# ANKENY PERMIT WEB PORTAL



Please use the Ankeny online permit web portal for ALL permit submittals.

**<https://ankenyonestop.ankenyiowa.gov>**

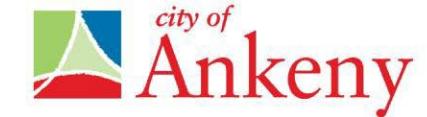
# Permit Web Portal



- The City of Ankeny encourages **all** permits to be submitted via the web portal in lieu of submitting paper copies or sending attachments via our building permits email address.
- The web portal allows you to:
  - Submit permits
  - Track the progress of projects
  - Pay for permits online
- This method of application submittal is quicker and easier for both users and staff.

# ONLINE PERMIT SUBMITTALS

[www.Ankenylowa.gov/Permits](http://www.Ankenylowa.gov/Permits)



- **When initially registering please contact staff first to establish a registration number for your account**
- Create one user name and password for your company so everyone can use it.
- If multiple people from one company registers, that creates multiple accounts.
- One person within the company will not be able to see another's submittals in the system.
- The registration is tied to a single email address. If you do not have a shared company email address and the person who created the account is no longer employed there, please contact us so that we can re-associate the account.

# Get Started

Click on an item below to get started



## Pay

Search for payable fees with the new Fee Finder.



## Apply

Apply for a permit, project, or license.



## Report

Fill out a short form to report a code violation.



## Your Items

Manage your applications, reports, and requests.



## Contractor Status

Check your current contractor status.



## Renew

A quick guide for renewing your license online.



## Advanced Search

Use the many available filters to find what you're looking for.



## Open Data

Use the many available filters to find what you're looking for.

# Apply

Select the permit or project you'd like to apply for using one of the methods below

All

Other Permits

Building Permits

Accessory Permits

Planning Cases

Sign Permits

Engineering Permits

Rental Housing

Fire Protection Permits

Filter by keyword

Clear



Tower - Cell/Radio

Start



Building Addition

Start



Demolition

Start



Fence or Wall

Start



Fire Repair

Start



New Building

Start



Footing/Foundation

Start



Porch

Start



Remodel or Renovation

Start



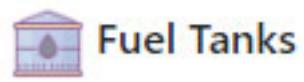
Start



Start



Start



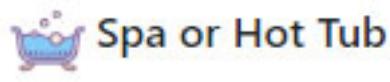
Start



Start



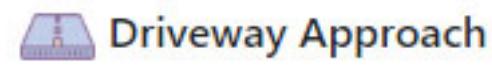
Start



Start



Start



Start



Start



Start



Start

# ONLINE PERMIT SUBMITTALS



This platform will also allow you to:

- Access your building permit, approved building plans, site plan and Certificate of Occupancy document.
- Submit additional documents/information or revised documents for your project.
- See which staff is assigned to your project.
- Track which inspections have passed, when and by whom.
- Keep a list of messages/correspondence between yourself and staff regarding your project.
- Get a line item of the fees charged on the permit.



# PERMIT SUBMITTAL AND APPROVAL RELATED ITEM

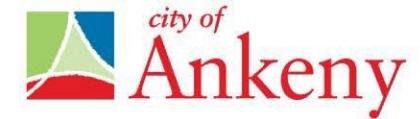
# CHANGE OF PLANS REMINDER



- Changing plans after permit issuance and prior to any work being done will be refunded 80% of the permit fee and the permit will be voided.
- The revised project, upon re-submittal of all required documentation, will then be placed in the review queue as a new project.

Note: the refund process may take up to eight weeks to complete.

# HELP US TO HELP YOU!



Allow time for:

- Permit review
- Inspection scheduling
- Final inspections
- C.O. Issuance!



General contractors you are responsible for  
your projects from start to finish!

Cooperation, organization and  
communication are key!

# In Closing



- Another construction season is again well underway.
- We hope this information will help us keep things running smoothly.
- Please never hesitate to call - we are always more than happy to make ourselves available for discussion.

**515-963-3550**

# Q & A Discussion



*Thank you for helping  
build the  
City of Ankeny*

