

## Garage (Detached) -or- Shed

### Information for private detached garages and sheds accessory to one and two family dwellings.

Contact the Community Planning & Building Department with questions for construction and zoning requirements

#### BUILDING PERMIT APPLICATION & SITE PLAN

- Submit one site plan and one set of building plans for review and approval.
- Building Permit fees are based on the area of the structure. Call for permit fee estimates.

#### LIMITATIONS

- A hard surfaced driveway (concrete or asphalt) shall be provided to all garages.
- A floating slab foundation is limited to 1010 square feet and one story (see illustration).
- Top of slab shall be a minimum 6" above grade.
- All sod and organic matter shall be removed from the slab area prior to inspection.
- Footings - continuous frost footings minimum 8" wide and 42" below finished grade are required for any of the following conditions:
  - Detached garages within 10' of the dwelling and located entirely within the buildable area of the lot.
    - Buildable area means the area unencumbered by a required yard setback and/or easements.
  - Masonry veneer, concrete block walls and concrete walls.
- Height Limitations
  - Detached garages are limited to 14' maximum height (mean elevation).
  - Sheds are limited to 12' maximum height (mean elevation).
  - Detached garage peak height may not exceed the height of the dwelling on the same lot.
- Maximum shed door width of 6' or a hard-surfaced driveway is required.
- Sheds greater than 200 square feet in size shall be anchored to a cast-in-place concrete foundation -or- slab.
- Sheds not more than 200 square feet in size may be anchored to the ground on at least two corners.
- Shed foundations may be of treated wood materials.
- Structures may not be constructed in an easement
- Location and Size Limitations
  - Location shall be behind the primary structure (dwelling)
  - Accessory structures (in total) may not occupy more than 10% of the total square footage of the lot, however, all conforming lots shall be permitted up to 720 square feet of detached accessory building use.
  - No single accessory building shall exceed 1010 square feet in size.
  - All accessory buildings shall be a minimum of 3' from lot lines and a minimum 5' from an alley right-of-way.
  - Garages which front an alley shall have a setback of 7' or a minimum of 18' from the alley right-of-way.
  - Accessory structures less than 6' from a dwelling shall be provided with 5/8" "X" sheetrock throughout the interior, including the walls and ceilings. Openings in walls parallel to and within 6' of a dwelling shall be fire-rated.
  - Accessory structures on corner lots shall conform to the front yard setback regulation on both streets.
- Overhead Electrical Service must maintain a minimum 3' vertical clearance above roof.

#### ADDITIONAL PERMITS REQUIRED

- Separate Electrical, Mechanical, and Plumbing Permits are required for work performed in these trades. For example:
  - **Electrical:** If electrical is run to garage, at least one GFCI outlet, one inside lighting outlet and one lighting outlet on the exterior side of each service door are required. Note: romex shall be protected

- **Mechanical:** Suspended gas fired heater, gas piping or HVAC work.
- **Plumbing:** Installation of a floor drain or other plumbing work.
- Contractors licensed in the respective trade must obtain these permits and perform the work.
- A homeowner may qualify to obtain plumbing and electrical permits and perform the respective work through testing. Inquire at the Community Planning & Building Department.

#### ADDITIONAL PLANS AND INFORMATION REQUIRED FOR:

- Gambrel roof or unconventional roof framing
- Attic storage area and/or stairs to storage area
- Any use other than a building accessory to one and two family dwellings

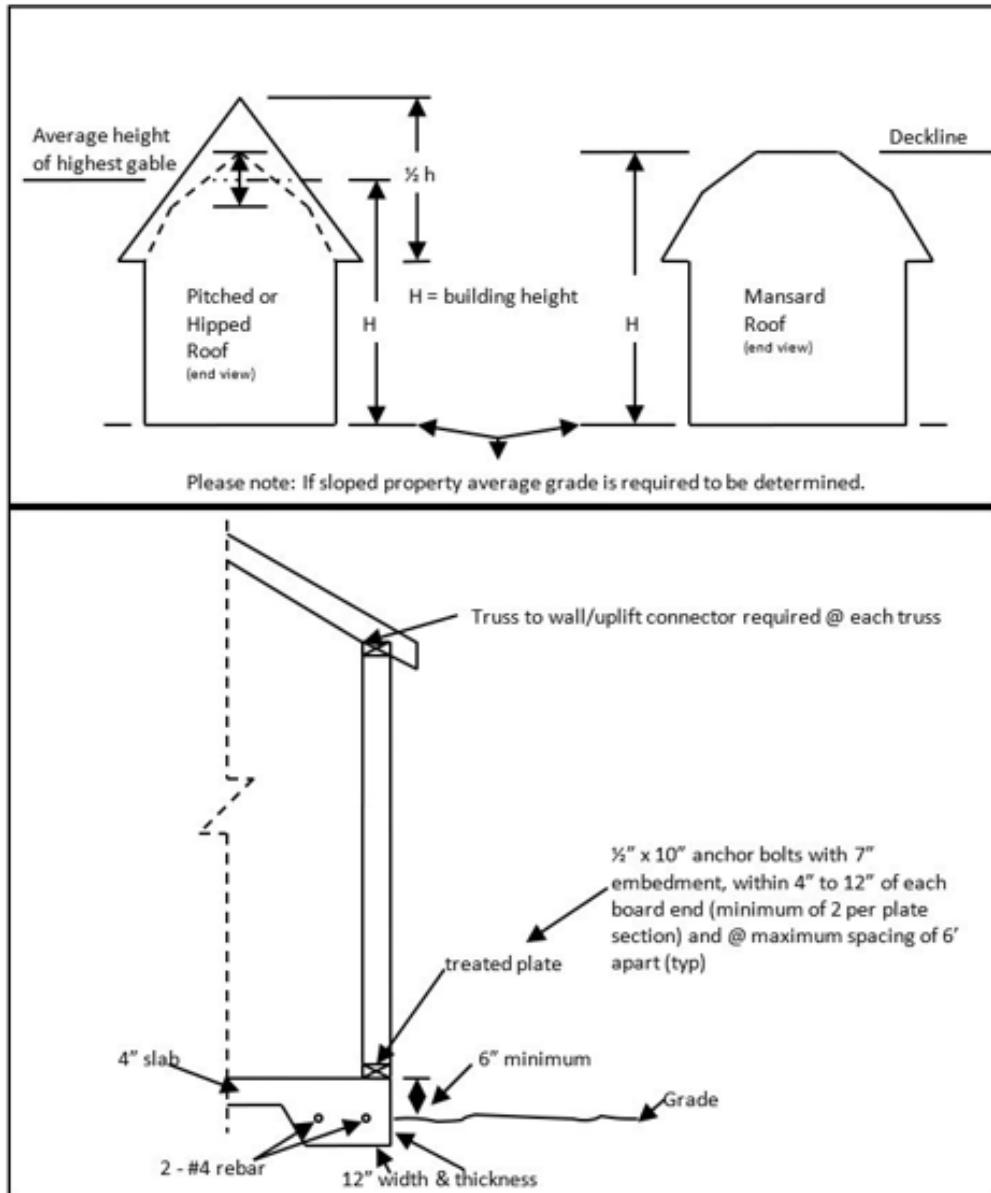
#### INSPECTIONS REQUIRED

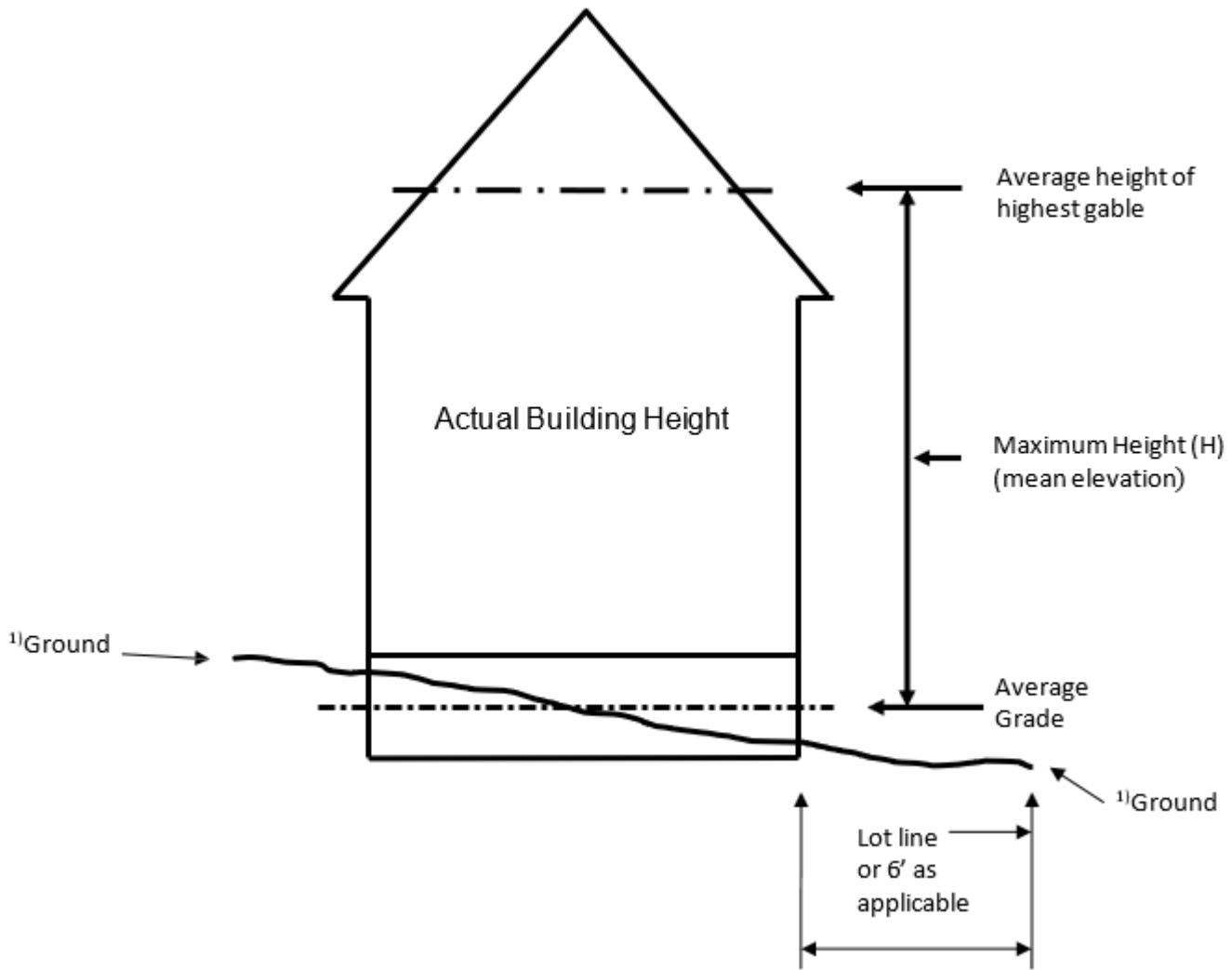
- Footings and/or slab when excavation is complete and forms are set and before concrete is poured
- Rough Electrical, Mechanical, and Plumbing, (when applicable) before insulation or wall covering
- Rough Frame before insulation or wall covering
- Final Inspection prior to use. **Certificate of Occupancy** is required.

#### Ankeny Municipal Code, Zoning Ordinance Chapter 190.

48. Height of building. "Height of building" means the vertical distance from the grade to the highest roof surface.

Accessory structure heights are determined as shown below.





#### How to determine building height.

The above depiction showing the gable end view of a building is illustrative of how building height is measured. Please note, both the average gable height AND the average grade is used to determine building height. This also applies to the side/eave view though is not shown.

Average grade as shown on the drawing is as defined below:

“Grade” or “ground level” means the reference plane representing the average of finished ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line or, where the lot line is more than six feet from the building, between the building and a point six feet from the building.

<sup>1)</sup>Note: if you have a sloping yard, grade manipulation and/or retaining walls on the subject property may be needed to provide for compliant height. Please also note: drainage easements shall not have grade changed or retaining walls built within. Know your lot constraints.